



SCALE: 1" = 1000'±

SOURCE: GOOGLE EARTH PRO RETRIEVED 06/13/2022

SCALE: 1" = 100±

SOURCE: VILLAGE OF RIDGEWOOD ZONING MAP; BERGEN COUNTY NJ TAX MAP SHEET 38, 37

SCALE: 1" = 100'±

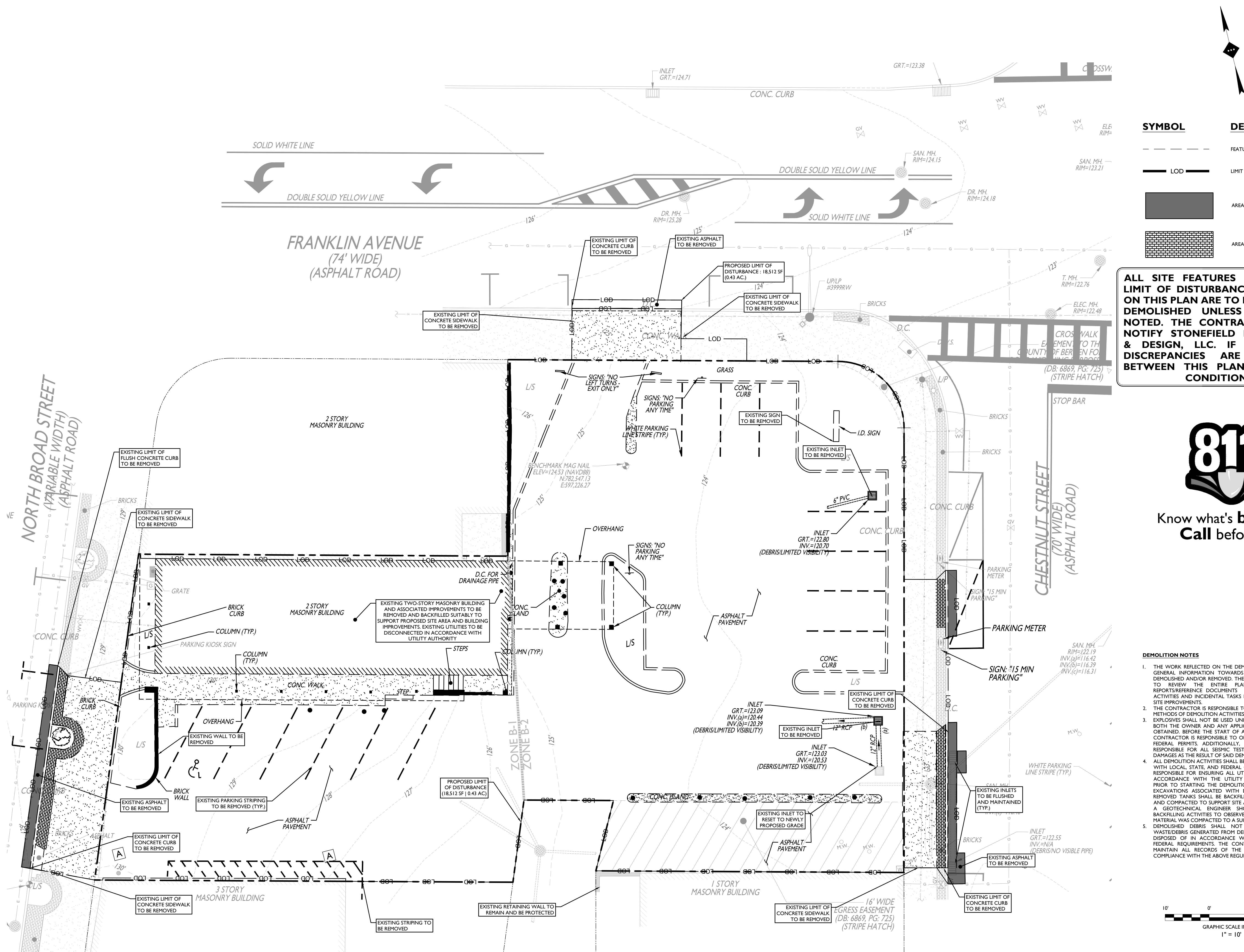
**C-**

DATE \_\_\_\_\_





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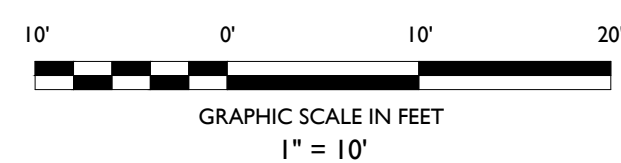
SYMBOL	DESCRIPTION
	FEATURE TO BE REMOVED / DEMOLISHED
	LIMIT OF DISTURBANCE
	AREA OF ASPHALT REMOVAL
	AREA OF CONCRETE REMOVAL

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below  
Call before you dig.

- DEMOLITION NOTES**
- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
  - EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
  - ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
  - DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



FOR MUNICIPAL RESUBMISSION  
FOR COUNTY SUBMISSION  
FOR MUNICIPAL SUBMISSION

02/27/2025  
01/24/2025  
01/11/2024

LAR  
RMF  
TDE

03  
02  
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DATE  
ISSUE

BY

DESCRIPTION

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PRELIMINARY & FINAL MAJOR SITE PLAN

JP MORGAN CHASE BANK  
PROPOSED BANK WITH  
DRIVE THROUGH

BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ

STONEFIELD  
engineering & design

AARON CHAN, P.E.  
NEW JERSEY LICENSE NO. 57348  
LICENSED PROFESSIONAL ENGINEER













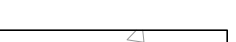
SCALE: 1" = 10' PROJECT ID: RUT-230372

TITLE: DEMOLITION PLAN

DRAWING: C-3



OFF-STREET PARKING REQUIREMENTS					
CODE SECTION	REQUIRED	SPACE WIDTH	SPACE DEPTH	VERTICAL CLEARANCE	PROPOSED
§ 190-9.B.	<u>TYPE OF SPACE</u> AUTOMOBILE PARKING - NO CURB OVERHANG - WITH 2-FOOT CURB OVERHANG TRUCK PARKING AND LOADING	9 FT 9 FT 12 FT	20 FT 18 FT 40 FT	8.5 FT 8.5 FT 14 FT	9 FT X 20 FT 9 FT X 18 FT N/A
§ 190-121.F.2.E.	IN THE B-1, B-2, C, P AND P-2 ZONE DISTRICTS, PARKING AREAS ARE PERMITTED IN THE FRONT, SIDE OR REAR YARDS.  PARKING AREAS IN THE FRONT YARD SHALL BE SET BACK FROM THE FRONT LOT LINE AT LEAST 1/2 OF THE MINIMUM REQUIRED FRONT YARD SETBACK. IN THE B-1, B-2, P AND P-2 ZONES,  ALL PARKING AREAS IN ANY YARD SHALL BE SET BACK AT LEAST FIVE FEET FROM ALL OTHER LOT LINES, EXCEPT WHERE SUCH PARKING AREAS ARE CONNECTED WITH OTHER PARKING AREAS AS PART OF A SHARED PARKING FACILITY AS PERMITTED BY THIS SECTION.				COMPLIES  3.3 FT  3.3 FT (V)
§ 190-121 A.(3)(d)	MINIMUM OFF-STREET PARKING SPACES REQUIREMENT: REQUIRED PARKING: (B-2 ZONE) 1 SPACE PER 200 SF  3.34 SF * (1 SPACE / 200 SF) = 17 SPACES				22 SPACES  EV CREDIT = 24 SPACES

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED FLUSH CURB
	PROPOSED RAILING
	PROPOSED PVC FENCE
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED BUILDING DOORS

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC OF ANY CHANGES TO THE EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL CHANGES TO THE EXISTING CONDITIONS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, BE RESPONSIBLE FOR ANY AND ALL COSTS OF ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN CONNECTION WITH CLAIMS FOR DAMAGES TO PERSONS OR PROPERTY OF OR NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCE GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE APPROVED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHOD OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DAMAGE TO OR INTERFERE WITH ANY PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS AND RELATE TO THE EXISTING CONDITION TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE TO ITS APPROPRIATE SUBMITTALS FOR REVIEW, STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL, IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL, DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR SHALL BE REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES TO THESE SPECIFICATIONS.
13. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

ATTESTED TO BY: \_\_\_\_\_ DATE: \_\_\_\_\_

[illegible]

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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**JJP MORGAN CHASE BANK**

**PROPOSED BANK WITH  
DRIVE THROUGH**

**BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ**

**AARON CHAN, P.E.**  
NEW JERSEY LICENSE No. 57348  
LICENSED PROFESSIONAL ENGINEER



**STONEFIELD**  
engineering & design

SCALE:	1" = 10'	PROJECT ID: RUT-230372
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**TITLE:**

## SITE PLAN

**DRAWING:**

64

**C-4**






**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT FROM THE PERMITS DIVISION FOR ANY DE-WATERING OF GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MATERIALS BROUGHT ON TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO PROTECT STRUCTURES FROM COLLAPSE, NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR WILL SUPPLY ALL STEAKOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR SHALL BE REQUIRED TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY ADOPTED CITY, MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - a. CURB GUTTER: 0.50%
  - b. CONCRETE SURFACES: 1.00%
  - c. ASPHALT SURFACES: 1.00%
6. MINIMUM SLOPE 1.00% SHALL BE ENSURED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. THE CONTRACTOR SHALL BE REQUIRED TO SET THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS DETECTED WITHIN THE PROPOSED STRUCTURE, THE SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED TO THE CITY OF STONEFIELD'S STORM SEWER SYSTEM AND APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

10' 0' 10' 20'



GRAPHIC SCALE IN FEET  
1" = 10'

**BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ**

**C-5**



Z:\UTILITY\04171032\04171032.RVT - VAN ROCK, PRINCETON, NJ - NORTH BROAD STREET, RIDGEWOOD, NJ - 088542

APPROVED BY THE  
COUNTY PLANNING BOARD  
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: \_\_\_\_\_ DATE \_\_\_\_\_

NORTH BROAD STREET  
(VARIABLE WIDTH)  
(ASPHALT ROAD)

FRANKLIN AVENUE  
(74' WIDE)  
(ASPHALT ROAD)

CHESTNUT STREET  
(70' WIDE)  
(ASPHALT ROAD)

FFE = 124.50

PROPOSED CONNECTION TO EXISTING ELECTRICAL  
CONDUIT. CONTRACTOR TO CONFIRM FEASIBILITY  
OF CONNECTION WITH ELECTRIC AUTHORITY  
PRIOR TO CONSTRUCTION.

PROPOSED CONNECTION TO EXISTING WATER  
LATERAL. CONTRACTOR TO CONFIRM FEASIBILITY  
OF CONNECTION WITH WATER AUTHORITY  
PRIOR TO CONSTRUCTION.

PROPOSED CONNECTION TO EXISTING UTILITY  
POLE. CONTRACTOR TO CONFIRM FEASIBILITY OF  
CONNECTION WITH ELECTRIC AUTHORITY PRIOR  
TO CONSTRUCTION.

PROPOSED SANITARY BUILDING  
CONNECTION  
INV: 121.00

PROPOSED 27 LF OF 6" PVC  
SDR-26 @ 3.50% SLOPE

PROPOSED SANITARY  
CLEANOUT  
INV: 120.04

PROPOSED 28 LF OF 6" PVC  
SDR-26 @ 3.50% SLOPE

PROPOSED SANITARY  
CLEANOUT  
INV: 119.06

PROPOSED CONNECTION TO EXISTING SANITARY  
LATERAL. CONTRACTOR TO CONFIRM FEASIBILITY  
OF CONNECTION WITH SANITARY AUTHORITY  
PRIOR TO CONSTRUCTION.

INLET  
GRT = 122.59  
INV = 120.09  
(DEBRIS/LIMITED VISIBILITY)

EXISTING STORMWATER  
INLET  
D-200  
GR: 122.59

REFURBISHED STORM-  
WATER INLET  
D-100  
RIM: 123.25

DR. MH.  
RIM = 125.14  
INV.(a) = 120.74  
INV.(b) = 120.74  
INV.(c) = 119.94  
INV.(d) = 119.92

SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— E —	PROPOSED ELECTRIC CONDUITS
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊥	PROPOSED WATER TEE / BEND
⊙	PROPOSED FIRE HYDRANT
⋈	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT

#### DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

10' 0' 10' 20'  
GRAPHIC SCALE IN FEET  
1" = 10'

NOT APPROVED FOR CONSTRUCTION

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SCALE: 1" = 10' PROJECT ID: RUT-230372

TITLE:

UTILITY PLAN

DRAWING:

C-6



(V) VARIANCE[illegible]



LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 190-85 C	ALL LIGHT FIXTURES SHALL BE DIRECTED DOWNWARD AND SHALL BE EQUIPPED WITH THE NECESSARY SHIELDING SO AS TO PREVENT THE DIRECT SOURCE OF LIGHT FROM BEING VISIBLE FROM ANY POINT BEYOND THE PROPERTY LINES OF THE PREMISES UPON WHICH THE LIGHTING STRUCTURE IS LOCATED	DOES NOT COMPLY; LIGHTING SHIELDS NOT PROPOSED (V)
§ 190-85 D	MAXIMUM LIGHT POLE HEIGHT: 20 FT	20 FT

(V) VARIANCE

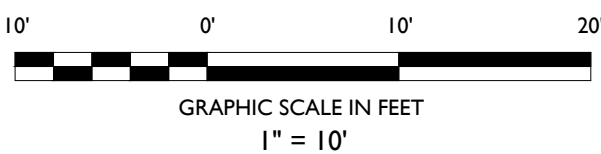
NEW JERSEY STATE STATUTE 17:16K-10 MINIMUM LIGHTING REQUIREMENTS	
REQUIRED	PROPOSED
MINIMUM 10 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE FOR UNENCLOSED ATMS	63.2 FOOTCANDLES
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 60 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	2.0 FOOTCANDLES

PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER
	A	5	BULLET RECESSED CANOPY LIGHT - 20W - 80 CRI - 40K	N/A	0.9	LF ILLUMINATION
	B	6	LUMIERE LANTERRA 9004 CYLINDER LED WALL SCONCE - 10W - 40K	WF	0.9	LUMARK
	C	1	LUMARK CROSSTOUR MAXX LED WALL LIGHT - 58W - 70 CRI - 40K	N/A	0.9	LUMARK
	D	2	EVOLVE EACL SERIES LED AREA LIGHT - 2 HEAD 180° - 277V - 40K	AF	0.9	EVOLVE
	E	2	RIDGEWOOD STATION LANTERN FIXTURES	TO BE CONFIRMED	0.9	TO BE CONFIRMED
	F	1	EVOLVE EACL SERIES LED AREA LIGHT - 3 HEAD 90° - 277V - 40K	AF	0.9	EVOLVE
						IES FILE
						58111SAT20LB040WDXSS.ies
						9004-W1-(RW, R)-LED4080-V-BK-L1-UNV.ies
						XTOR6B-W.IES
						EACL01_C4AF740.ies
						TO BE CONFIRMED
						EACL01_C4AF740.ies

SYMBOL	DESCRIPTION
-----	PROPOSED CALCULATION AREA
-----	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHTS
	PROPOSED BUILDING MOUNTED LIGHTS
	PROPOSED CANOPY MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:  
FIXTURE "X" = MINIMUM X WATTS
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
  - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
  - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
  - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
  - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
  - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



LIGHTING AT 36" ABOVE GRADE

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PRELIMINARY & FINAL MAJOR SITE PLAN

**JP MORGAN CHASE BANK**

PROPOSED BANK WITH DRIVE THROUGH

BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ

AARON CHAN, P.E.  
NEW JERSEY LICENSE No. 57348  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: RUT-230372

TITLE:  
**LIGHTING PLAN  
(ATM SECURITY)**

DRAWING:  
**C-8**





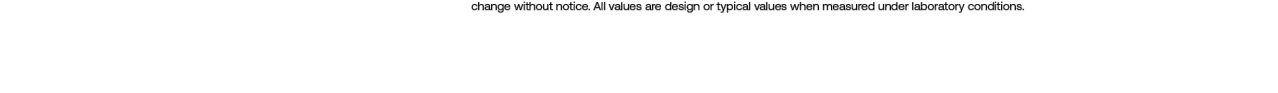
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. REBAR SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASSE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. WORK SHALL BE CONDUCTED IN ACCORDANCE WITH BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.



NOT TO SCALE

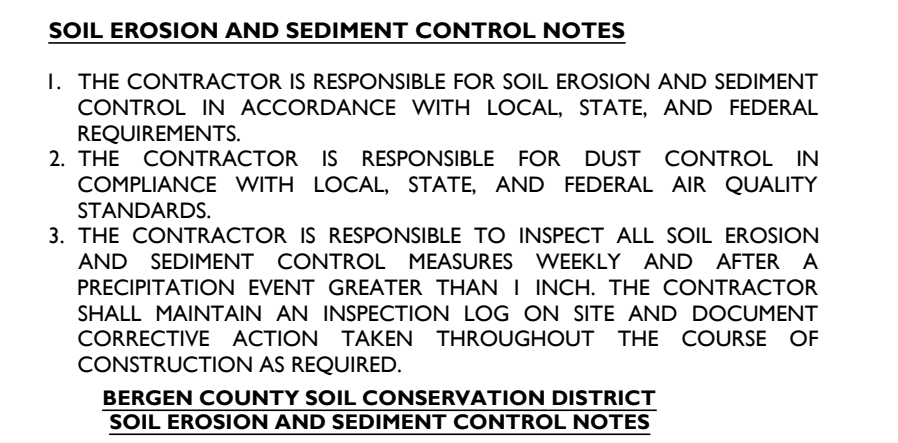



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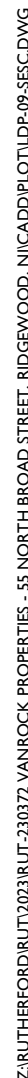




**THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN STATE PLANNING AREA I (PA-I).**



- 10' 0' 10' 20'
- 
- GRAPHIC SCALE IN FEET  
1" = 10'



**NOT APPROVED FOR CONSTRUCTION**

**PRELIMINARY & FINAL MAJOR SITE PLAN**

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**J.P. MORGAN CHASE BANK**

**PROPOSED BANK WITH  
DRIVE THROUGH**

**BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ**



**STONEFIELD**  
engineering & design

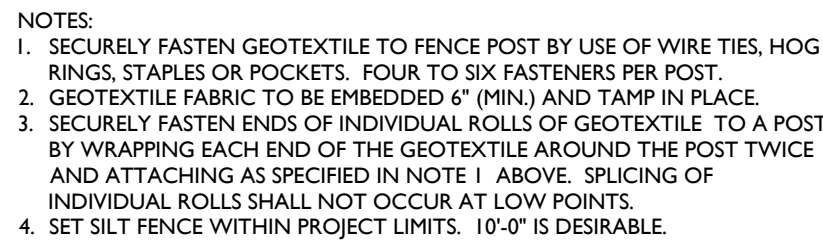
SCALE:	1" = 10'	PROJECT ID: RUT-230372
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## SOIL EROSION & SEDIMENT CONTROL PLAN

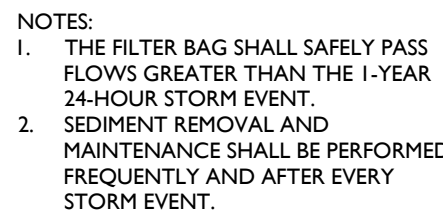
**DRAWING:**

**C-10**





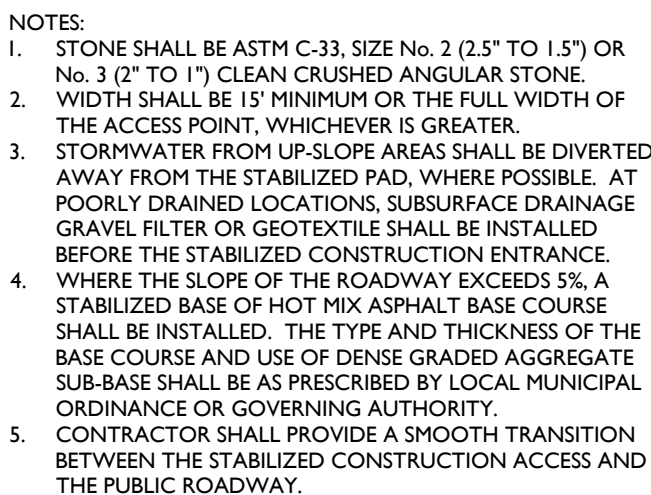
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NOT TO SCALE



## HAY BALE DETAIL



NOT TO SCALE

NOTES:

1. STONE SHALL BE ASTM C-33, SIZE NO. 2 (2.5" TO 1.5") OR NO. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15" MINIMUM OR THE FULL WIDTH OF THE EXISTING POINT.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. THE UP-SLOPE OF THE STABILIZED PAD SHALL BE A STABILIZED BASE OF HOT MIX ASPHALT. THE BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

## BERGEN COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY [NJ STANDARDS], AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL THE CONSTRUCTION ACTIVITIES ARE COMPLETED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCH (E.G. PEPPERSHAW). THIS TEMPORARY SEEDING MUST BE COMBINATION WITH STRAW, MULCH OR A SUITABLE EQUIVALENT AT A RATE OF 2 TONS PER ACRE APPROVED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SHALL BE COVERED WITH MULCH OR PEPPERSHAW SEEDING COMBINATION WITH STRAW, MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, APPROVED BY THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
  - A. ESTABLISHMENT OF VEGETATION AND MULCHING: GROUND LIMEZING - APPLY UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11BS/L 1,000 SF OF 10-20-10 EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4".
  - B. PERMANENT SEEDING AND MULCHING: TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5"; MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED; GROUND LIMEZING - APPLY 11BS/L 1,000 SF OF 10-20-10 EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4". TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 BS./ACR @ 8" 1,000 SF OR OTHER APPROVED SEED; PLANT BEDS AND SLOPES SHALL BE COVERED WITH MULCH OR PEPPERSHAW SEEDING COMBINATION WITH STRAW, MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, APPROVED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
6. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLIDE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
7. GRAVEL DRIVEWAYS, VEHICLE WASH-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1"- 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE REPLACED WHEN WEAR SURFACE IS REDUCED TO LESS THAN 1 1/2" DEPTH.
8. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
9. DRIVEWAYS MUST BE STABILIZED WITH 1"- 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO CONSTRUCTION OF DRIVEWAYS.
10. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
11. CATCH BASINS AND DRAINFAGES WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28 - I OF THE NJ STANDARDS.
12. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINT IS REACHED.
13. DERRIVING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-I OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER DUST SUPPRESSANTS TO ALL EXPOSED SURFACES.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-J OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY VIOLATION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
  19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE TO THE PROJECT SITE THROUGHOUT CONSTRUCTION.
  20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCSD, 700 KINDERKAMACK RD., SUITE 200, CLIFTON, NJ 07014. TEL: 201-261-4407. FAX: 201-261-5773.
  21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
  22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE DISTRICT WILL REQUIRE AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY PERMANENT STABILIZATION OF ALL DISTURBED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

### DUST CONTROL NOTES

1. MULCHES - USE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
2. VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
3. MULCHES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS; BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTH HARKOWS ARE EXCELLENT TYPE OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. CRATE WALLS - CRATE WALLS ARE CONSTRUCTED FROM CRATES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL. CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
7. MULCH CHAINED - MULCH CHAINED IS A LOOSE, DRY GRASS OR FLAKES, FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
8. DIRT BARRIERS - DIRT BARRIERS ARE USED TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
9. STABILIZATION COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

## TEMPORARY STOCKPILE PROTECTION

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
- MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

### TEMPORARY STABILIZATION SPECIFICATIONS

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
- MULCH DISTURBED SOIL WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

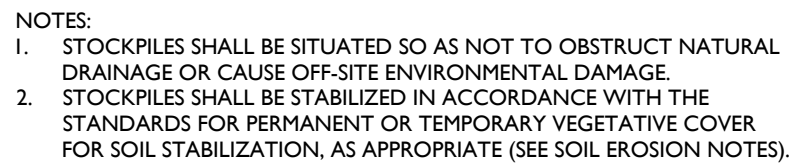
### PERMANENT STABILIZATION SPECIFICATIONS

- a. APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
- b. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
- c. APPLY FERTILIZER (10-20-10) AT A OF RATE 11 LBS. PER 1000 SQ. FT.
- d. APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
- e. STRETCH TOPSOIL WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- f. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

### SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE (2 DAYS).
2. DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (7 DAYS).
3. ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).
4. EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (30 DAYS).
5. INSTALL INLET FILTERS (1 DAY).
6. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (120 DAYS).
7. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
8. REMOVE SOIL EROSION MEASURES (1 DAY).

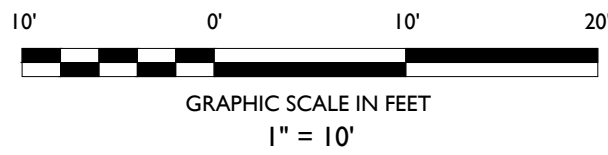
NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY



NOT TO SCALE



NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



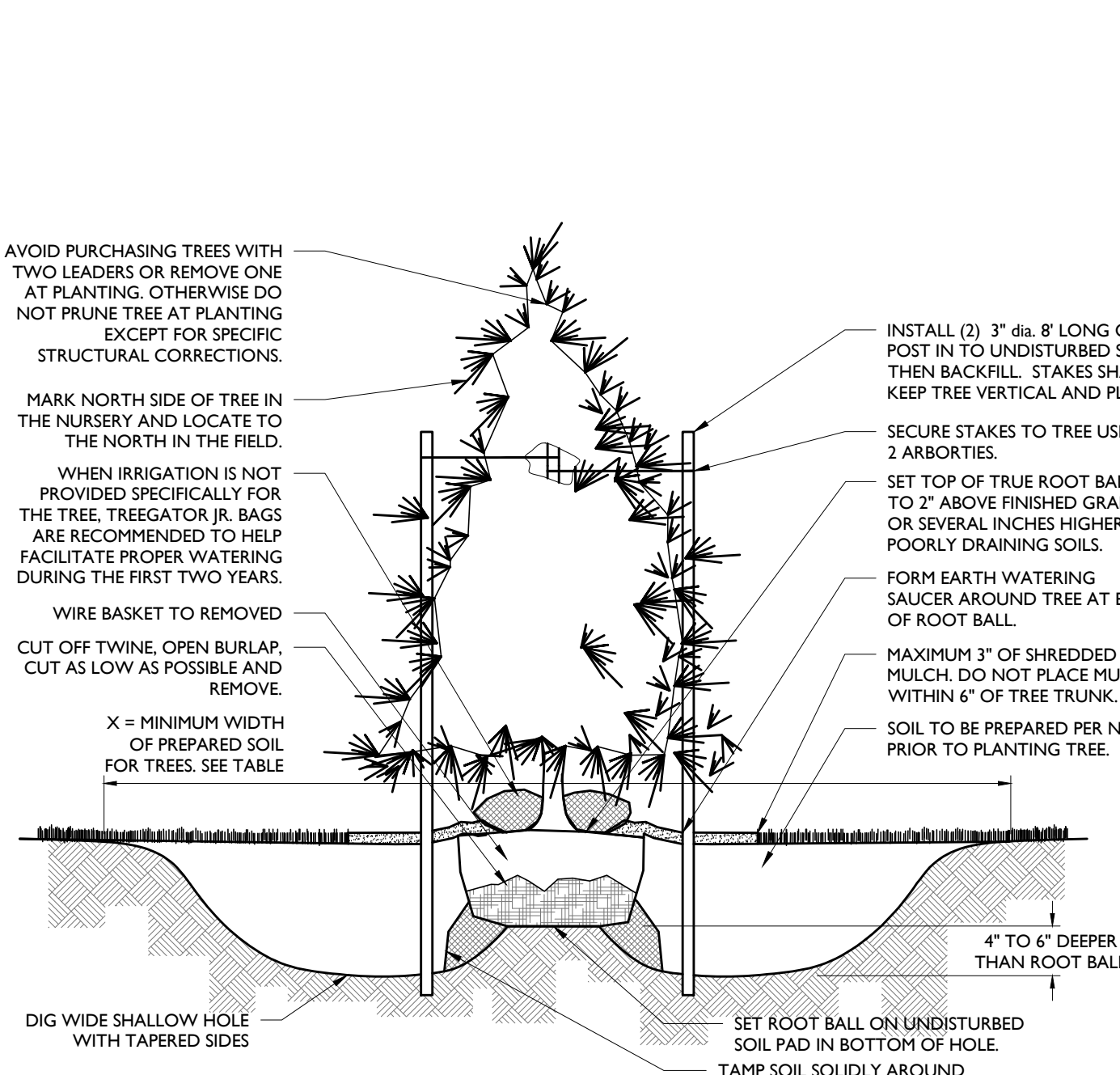
## C-12

2181UT 21072 VANROCK PROPERTIES, 55 NORTH BRAD STREET, RIDGEWOOD, NJ 07070-0119, LAND PANG



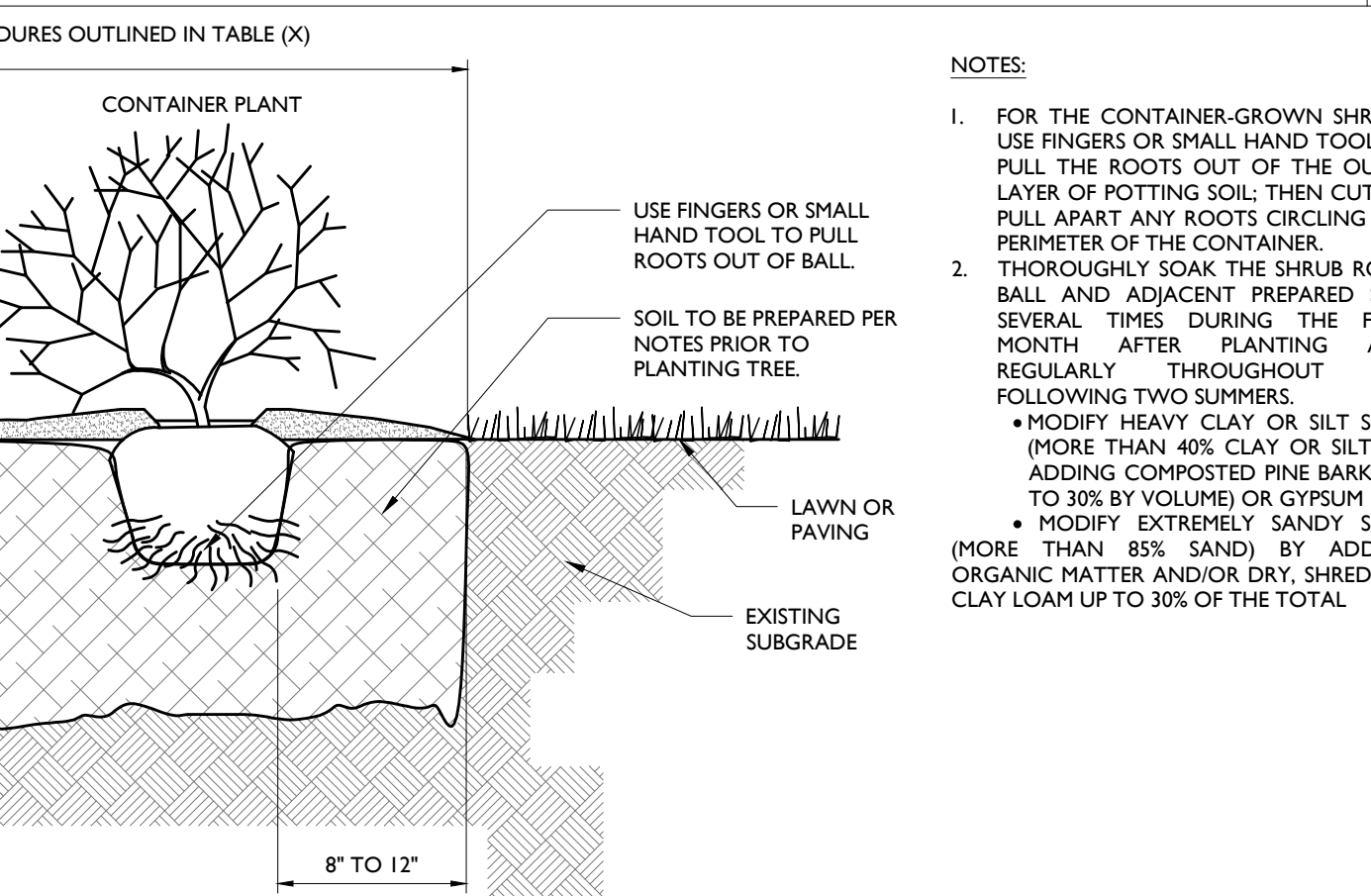
## NOTES

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
  - PLANT, THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
53. SOIL AMENDMENTS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
  - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



## CONIFEROUS TREE PLANTING DETAIL

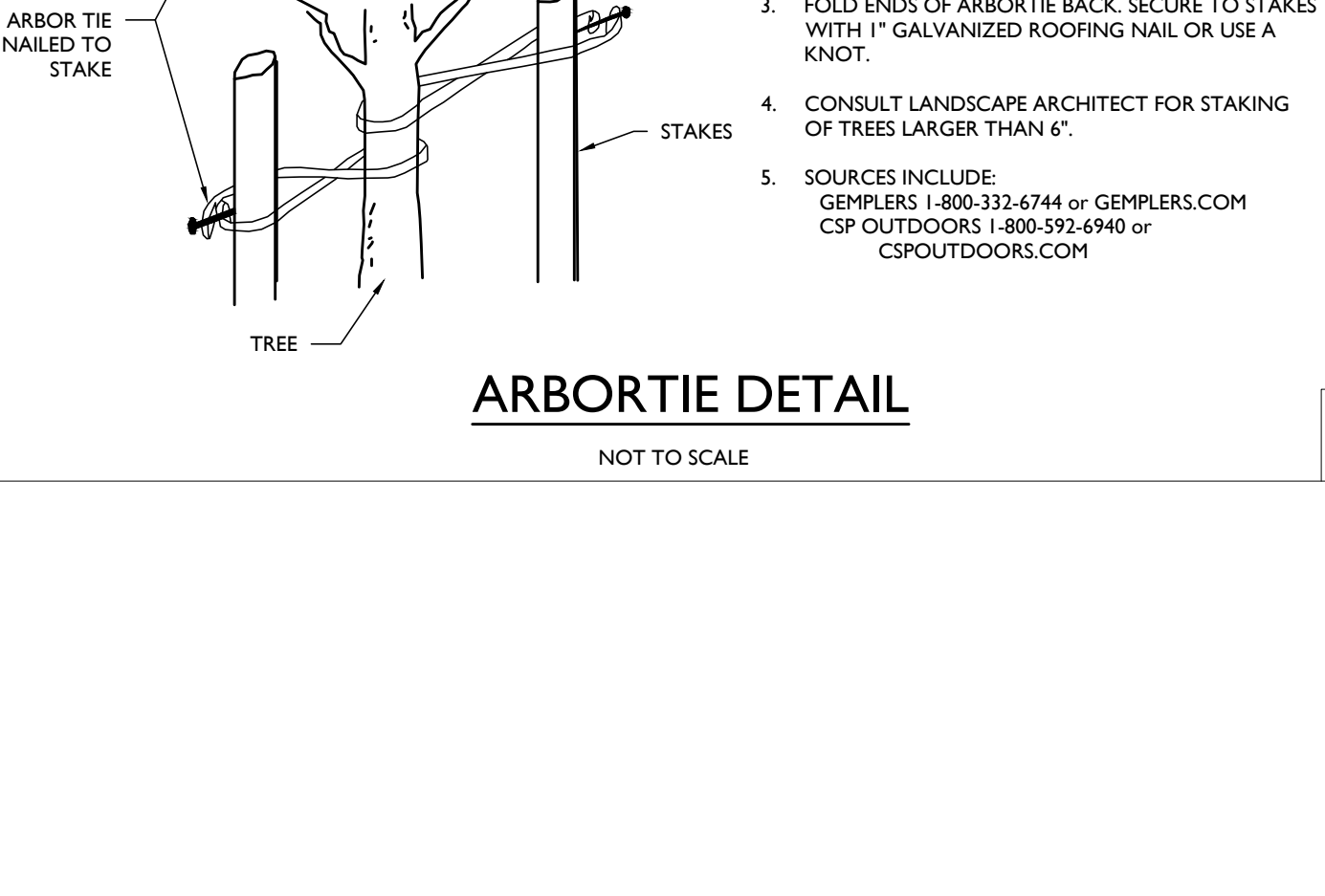
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## WANTING DETAIL

3

- 
- ARBOR TIE
1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
3. HOLD ENDS OF ARBOR TIE TIGHT, SECURE TO CHAIRS



### PLANT QUALITY AND HANDLING NOTES

2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. ALL PLANTS MUST BE IDENTICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
4. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEALTHY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY OF GROWTH. PLANTS MUST HAVE HEALTHY, VIGOROUS ROOT SYSTEMS. VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEMS SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR LARVAE.
5. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR PRESENCE OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
6. ALL PLANTS SHALL BE THE TYPE OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
7. ALL ROOT SYSTEMS OF PLANTS MUST BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
8. ALL PLANTS DESIGNATED BALL AND BURLAP (BBB) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF BURLAP AND BRANDED WIRE OR BRASS BANDING. THE BALLS OF BURLAP MUST BE SUFFICIENTLY TIGHT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN.
9. PREPARATORY TO OR DURING THE PROCESS OF PLANTING, THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS MUST BE MOVED WITH THE BALL OF EARTH SURROUNDING ITS ROOTS. THE BALLS MUST ENCOMPASS THE BALL WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
10. ALL PLANTS MUST BE SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING LOADING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF ALL PLANTS. ALL PLANTS MUST BE PROTECTED FROM DAMAGE DURING THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
11. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

WITH SOIL OR MULCH AND THEN WATERING. HEM

- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPIS OR OTHER SUITABLE COVER SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE PROTECTED BY SUITABLE PROTECTIVE COVERING OF THE TRUCKS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY OF PLANTS, UNLESSLESS ALL PLANTS IN PROPER HANDLING AND STORAGE SHALL BE CAUSE FOR REJECTION OF THE ORDERING MATERIAL. WHILE PLANTS BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. THE ORDERING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. PLANTS SHOULD BE WATERED AT ALL TIMES. PLANTS SHOULD BE MOISTENED WITH MOISTENED MULCH OR WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTING SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING AND LEAF LOSS. PLANTS THAT REMAINED UNPLANTED FOR A PERIOD OF THE GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPS OR MULCH AND WATERED TO PREVENT DRYING AND TO PREVENT ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTACLE IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET ABOVE GROUND. AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GROUND UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OF AUSTIN.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:  
PLANTS (MARCH 15 - DECEMBER 15)  
LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):  
ABIES CONES  
ACER BURGERIANUM  
ACER FREEMANII  
ACER RUBRUM  
ACER SACCHARINUM  
BETULA VARIETIES  
CARPINUS VARIETIES  
CORYLUS DEODARA  
CELTIS VARIETIES  
CERCIDIPHYLLUM VARIETIES  
CORNUS CANADENSIS  
CORNUS VARIETIES  
CRATAEGUS VARIETIES  
CORNUS VARIETIES  
CORNUS VARIETIES  
LIRIODENDRON VARIETIES  
MALUS IN LEAF  
NYSIA SYLVATICA  
OSTRYA VIRGINIANA  
PLATANUS NIGRA  
PINUS VARIETIES  
POPULUS VARIETIES  
PRUNUS VARIETIES  
PYRUS VARIETIES  
QUERCUS VARIETIES (NOT Q. PALUSTRIS)  
SALIX WEEPING VARIETIES  
SORBUS VARIETIES  
TAXODIUM VARIETIES  
TAXUS B. REPANDENS  
TILIA TOMENTOSA VARIETIES  
ULMUS PARVIFOLIA VARIETIES  
ZELKOVA VARIETIES

ABIES CONCOLOR

- AZER FREEMANN  
ACER RUBRUM  
ACER SACCHARINUM  
BETULA VA. V. V.  
CARPINUS VARIETES  
CEDRUS DEODARA  
CELTIS VARIETES  
CORYLUS AMERICANA  
CERCIS CANADENSIS  
CORNUS VARIETES  
CRATAEGUS VARIETES
- CAPUSSES/CYPARIS LEYLANDII  
FAGUS VARIETES  
HALESIA VARIETES  
LEL X FOOTBALL  
LILIE NELLIE STEVENS  
LILIE OPACA  
JUNIPERUS VIRGINIANA  
KOELREUTERIA PANICULATA  
LIQUIDAMBAR VARIETES  
LIRIODENDRON VARIETES  
MYRTUS IN LEAF  
NASSA SYLVATICA
- PLATANUS VARIETES  
POPULUS VARIETES  
PRUNUS VARIETES  
SALIX VARIETES  
QUERCUS VARIETES (NOT Q. PALUSTRIS)  
SALIX SLEEPING VARIETES  
SORBUS VARIETES  
TAXODIUM VARIETES  
TAXUS SPENDANS  
TILIA TOMENTOSA VARIETES  
ULMUS PARVIFOLIA VARIETES  
ZELKOVA VARIETES
17. IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DIPPING LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY REMOVED FROM THE SITE AT THE END OF EACH DAY'S WORK. EXCESS MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO; REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, WEEDING, TRIMMING, WATER RINGS OR STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF TOTAL LENGTH. WHEN THE AIR AND WATER RINGS OR STAKES ARE IN PLACE, THEY SHALL BE REMOVED TO PREVENT DISTURBANCE OF UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASSES DAMAGED THROUGHOUT THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL REPAIR OR REPLACE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
27. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTORS RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY LOSSES DUE TO CURTILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

1. SEED MIXTURE SHALL BE FRESH-LEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD.
4. SEEDING SHALL NOT BE REQUIRED IN WINTER WEATHER.
5. PERMANENT STABILIZATION/TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."
6. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, OR OTHER CAUSES SHALL BE REPAIRED AT THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE AND DESTROY ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

7. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

8. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

9. WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

**TABLE NOTES:**  
I. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

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# PRELIMINARY & FINAL MAJOR SITE PLAN

**IP MORGAN CHASE BANK**

# PROPOSED BANK WITH DRIVE THROUGH

**BLOCK 3804, LOT 2.01  
55 NORTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NJ**

**AARON CHAN, P.E.**  
NEW JERSEY LICENSE No. 57348  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE:	AS SHOWN	PROJECT ID: RUT-230372
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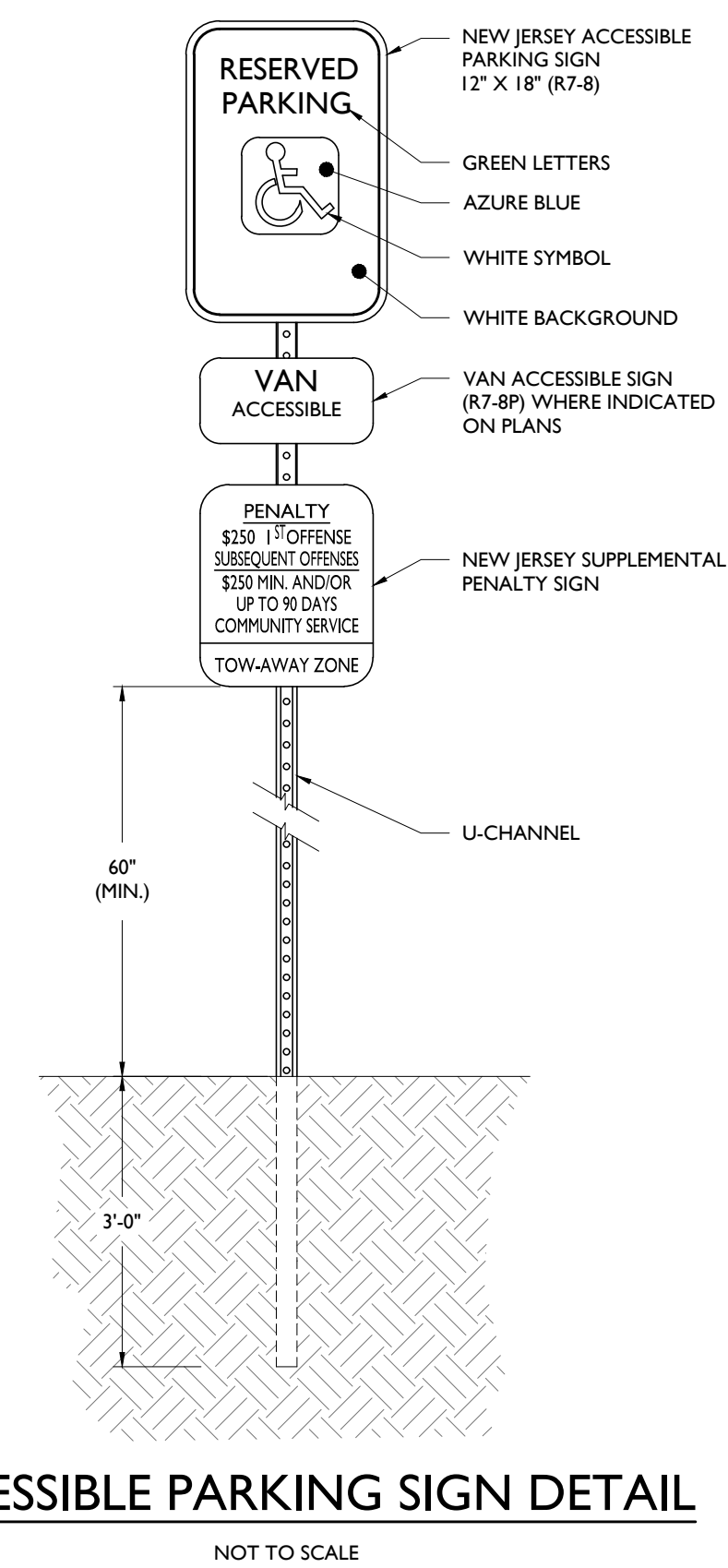
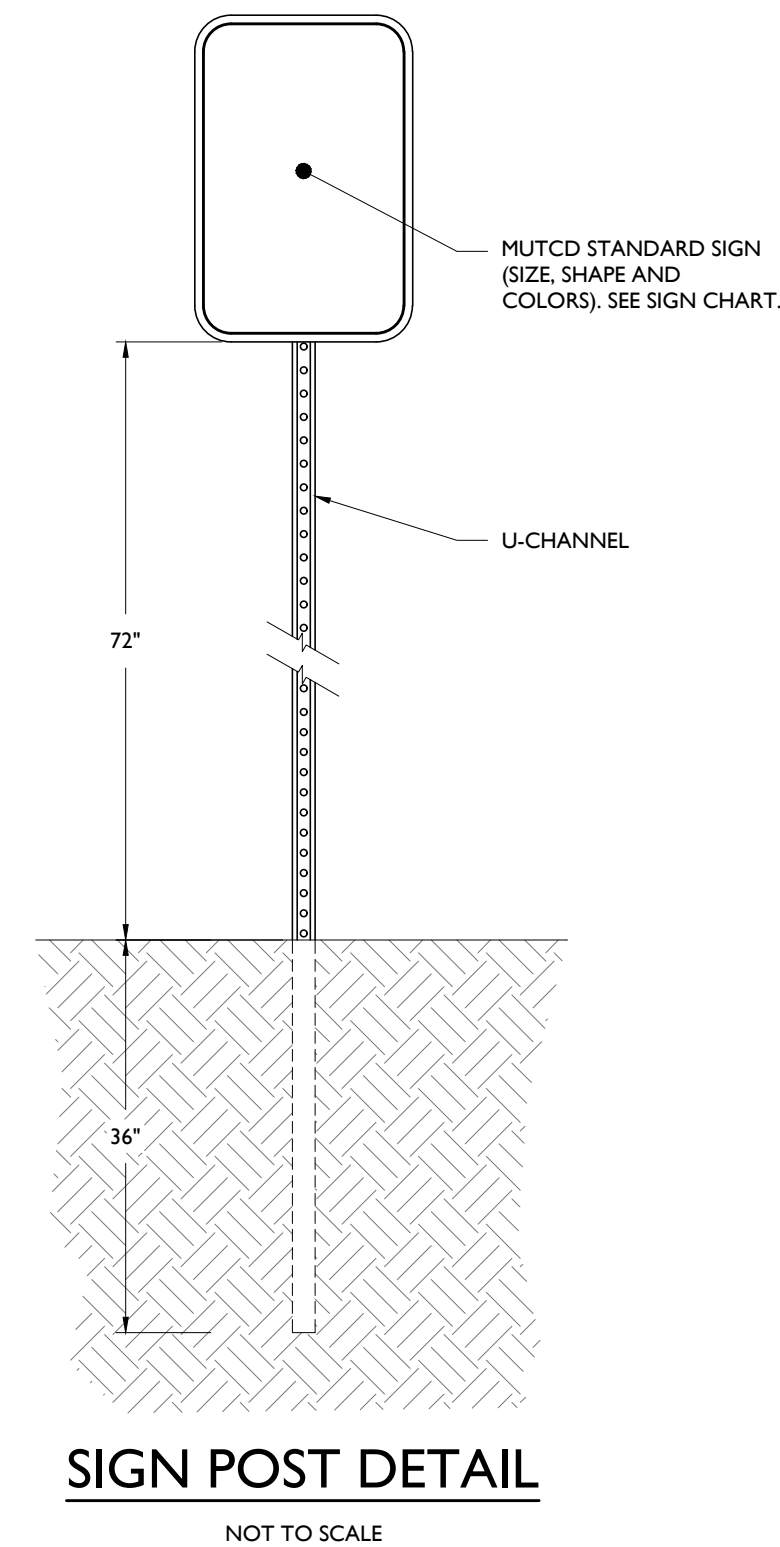
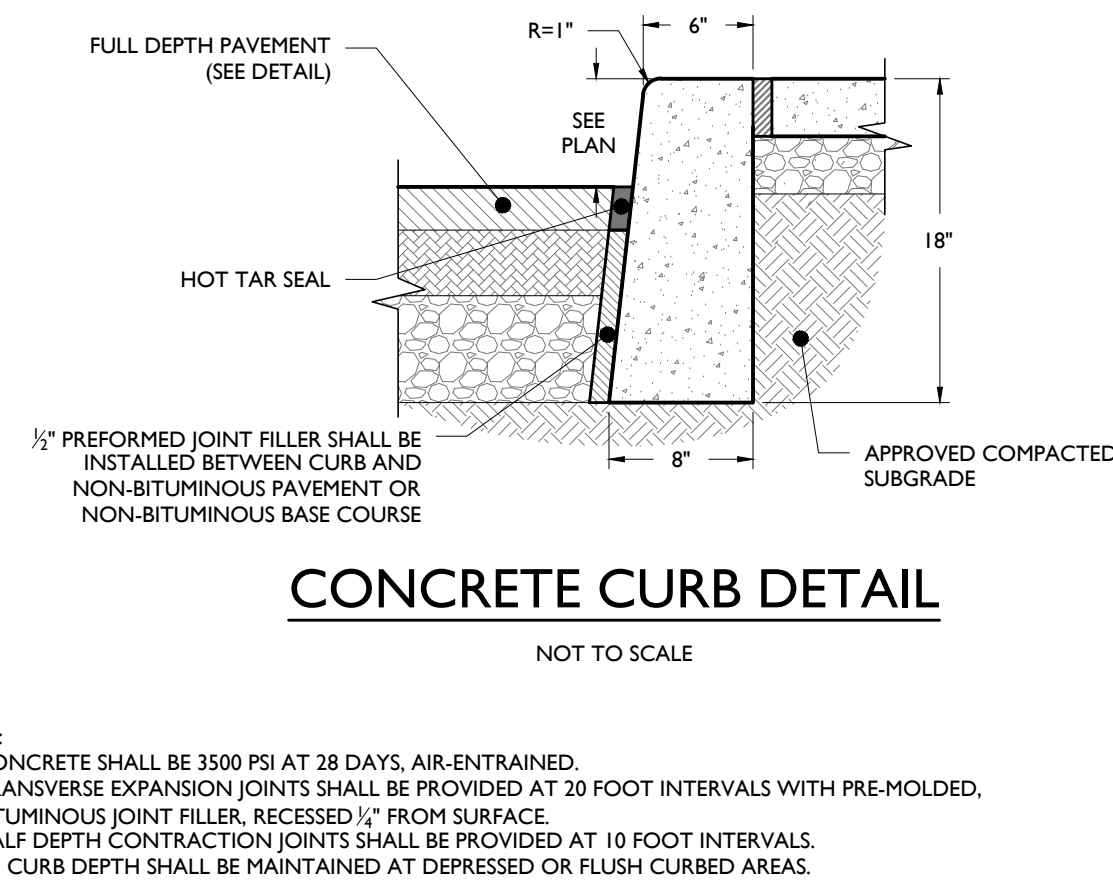
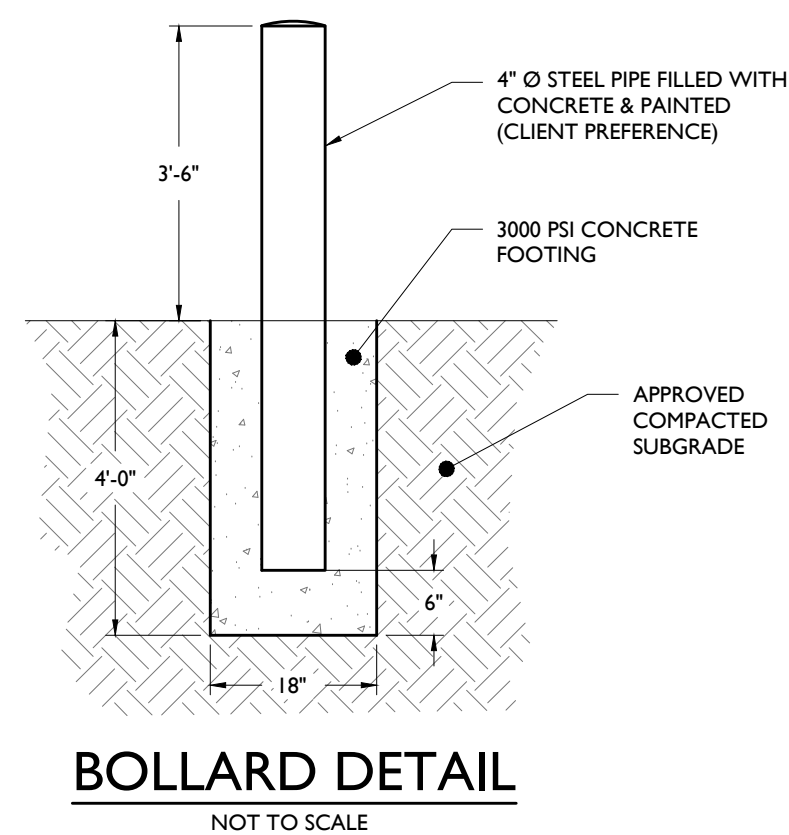
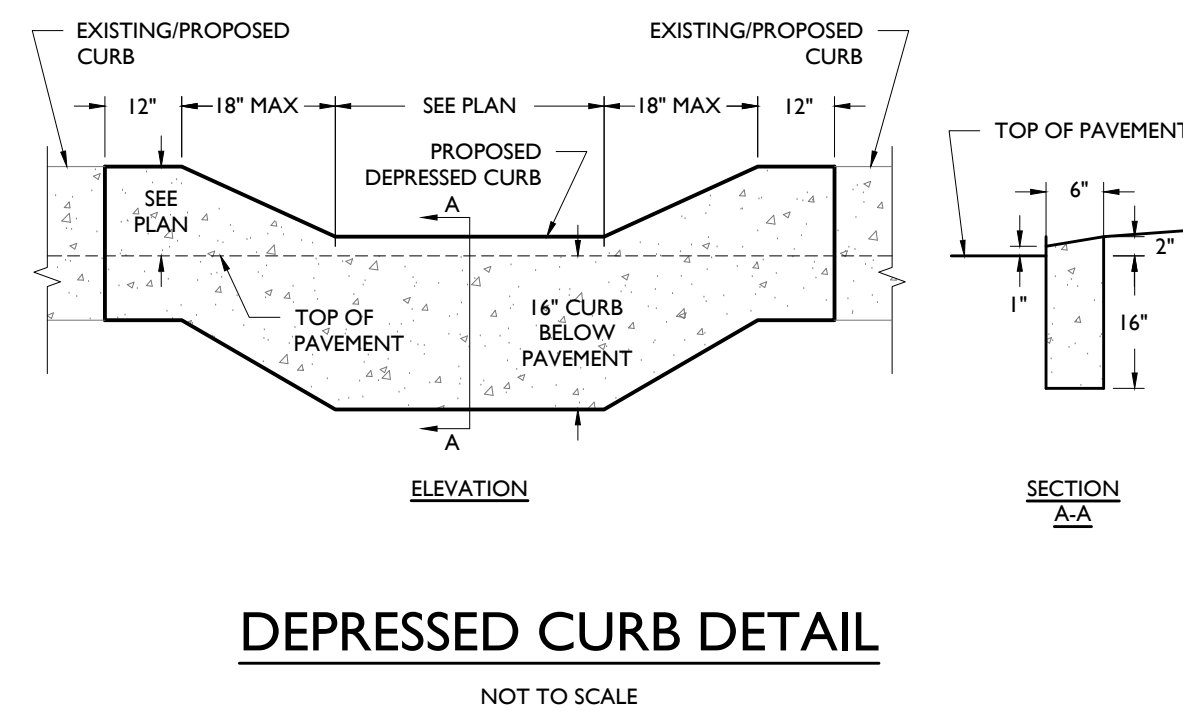
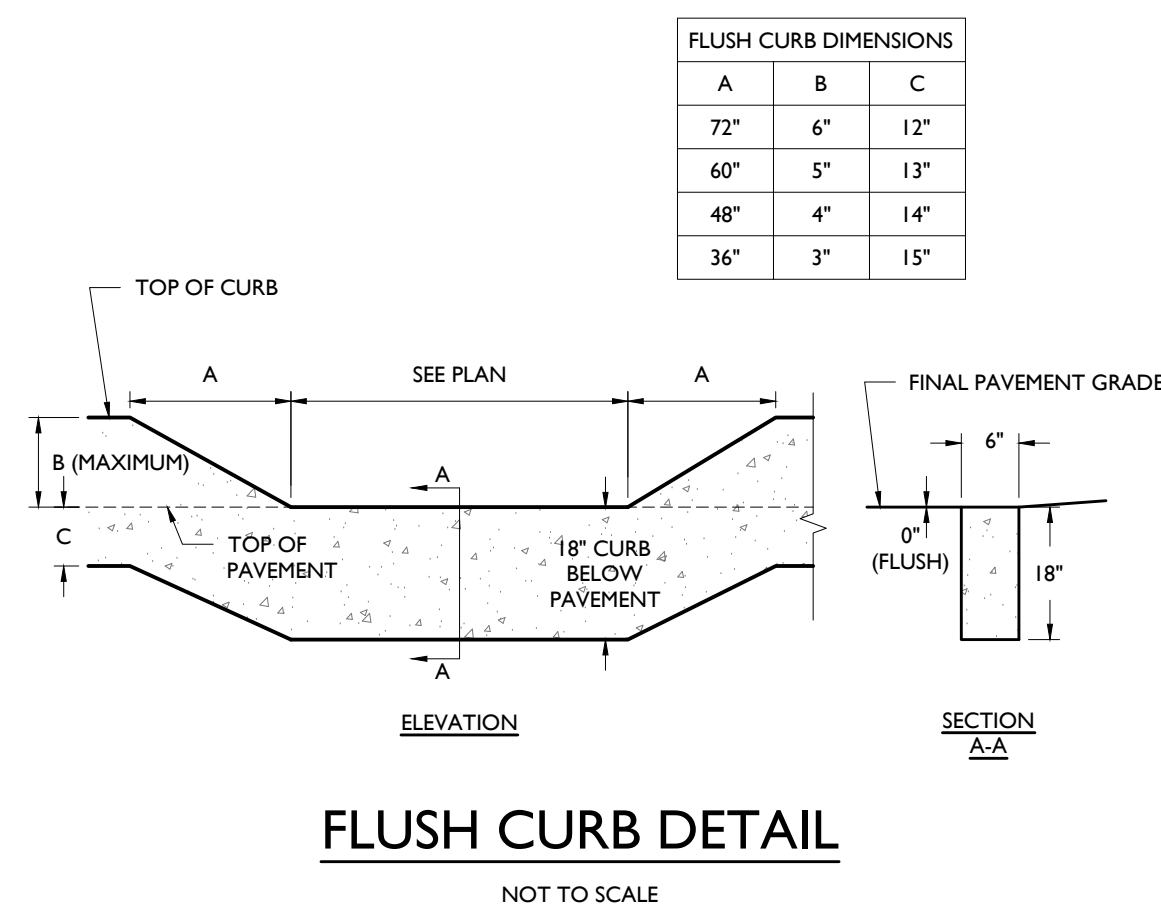
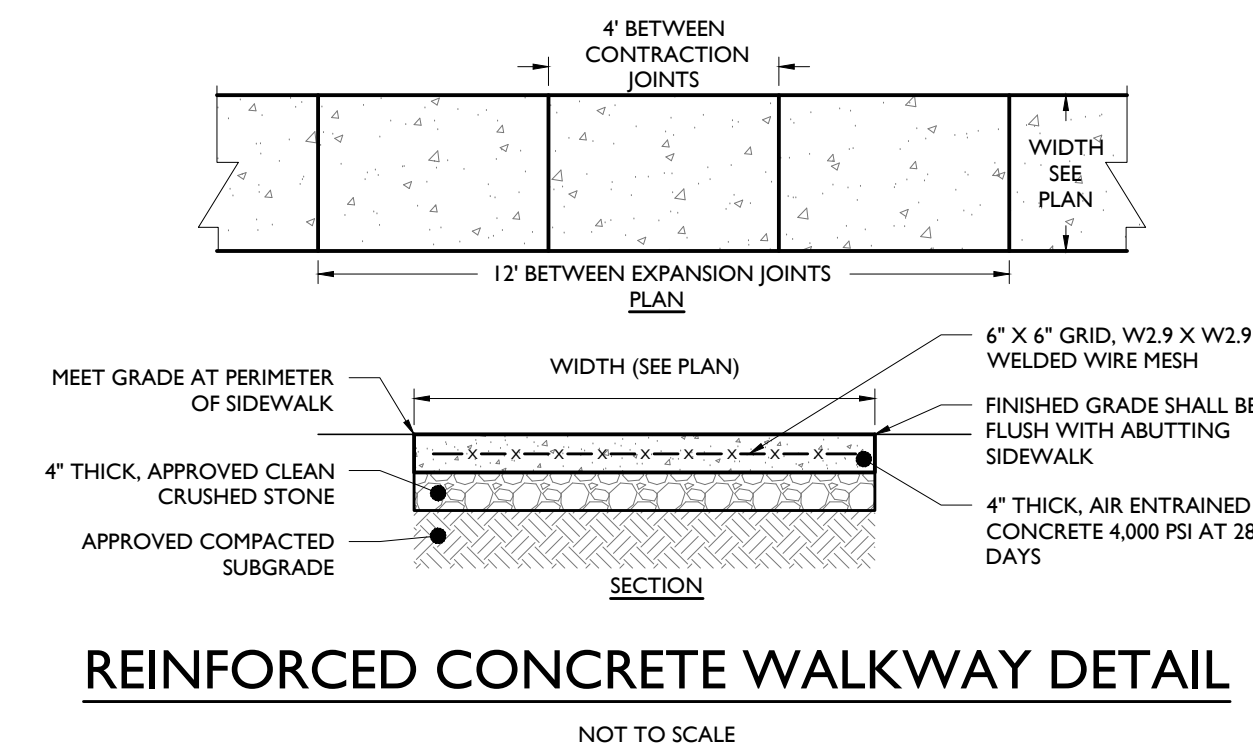
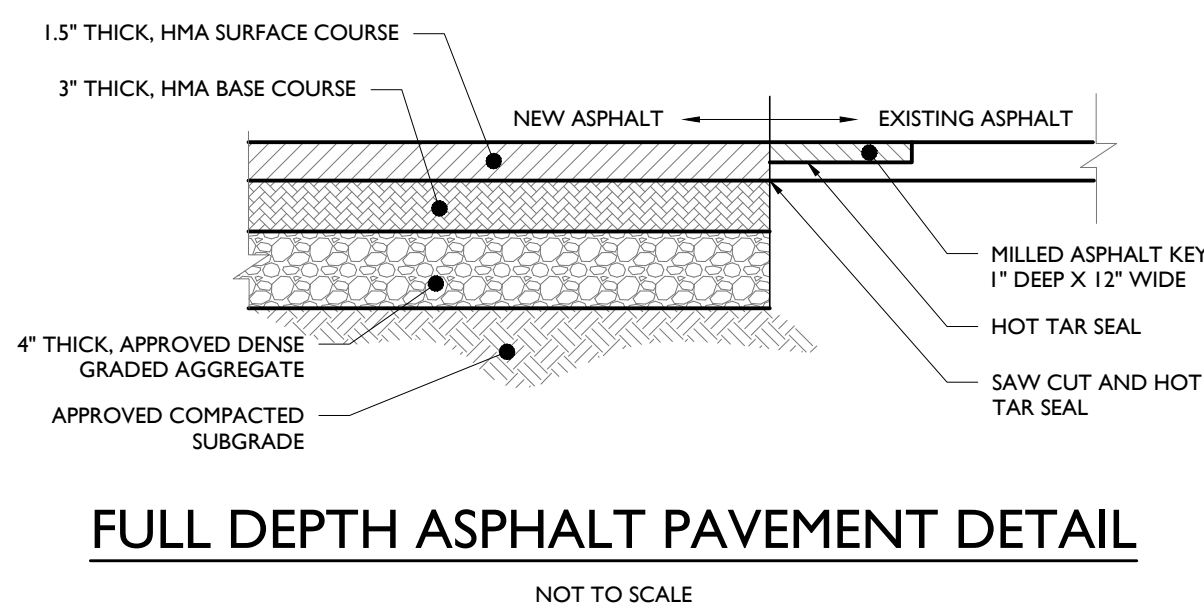
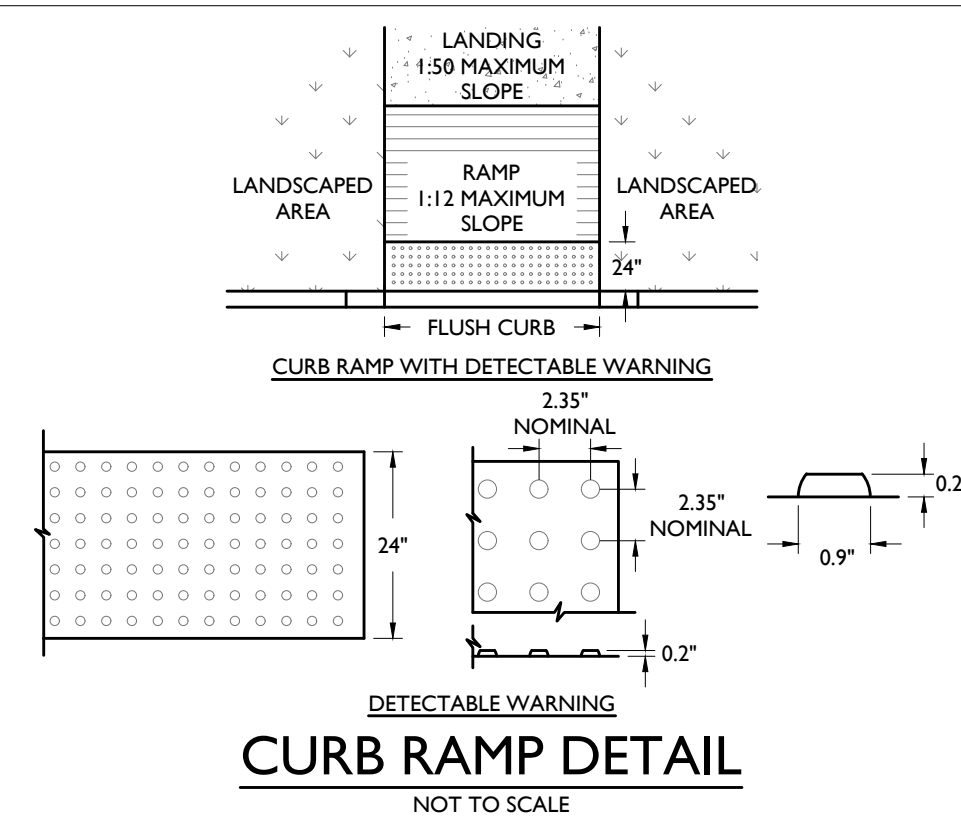
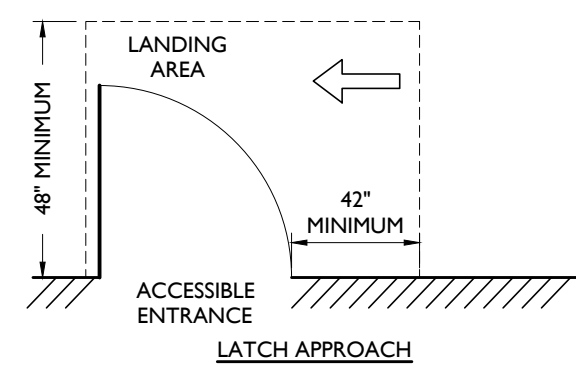
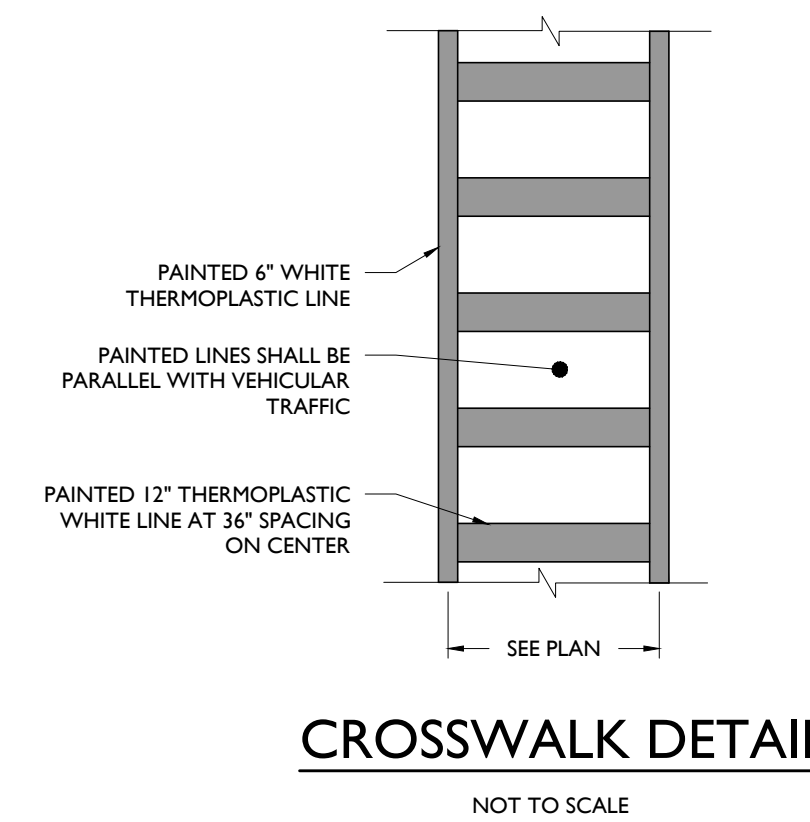
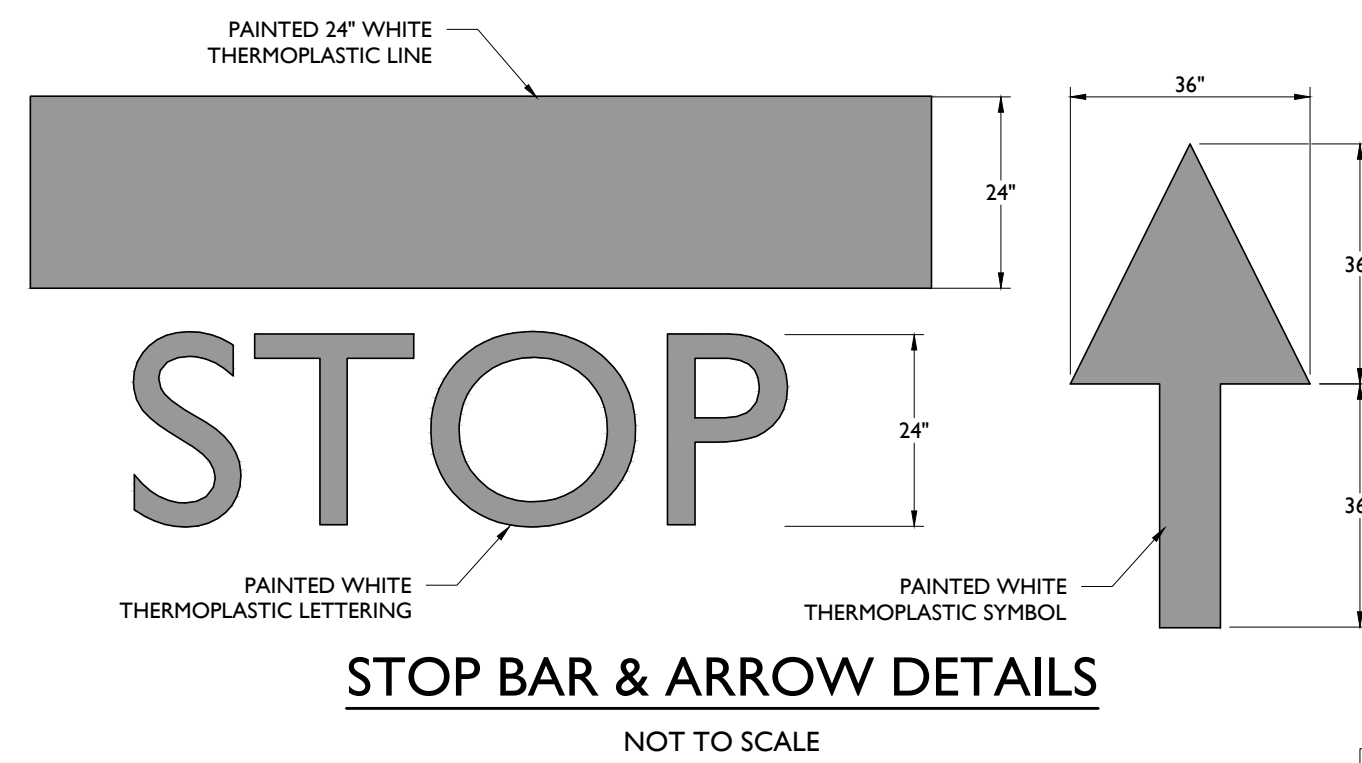
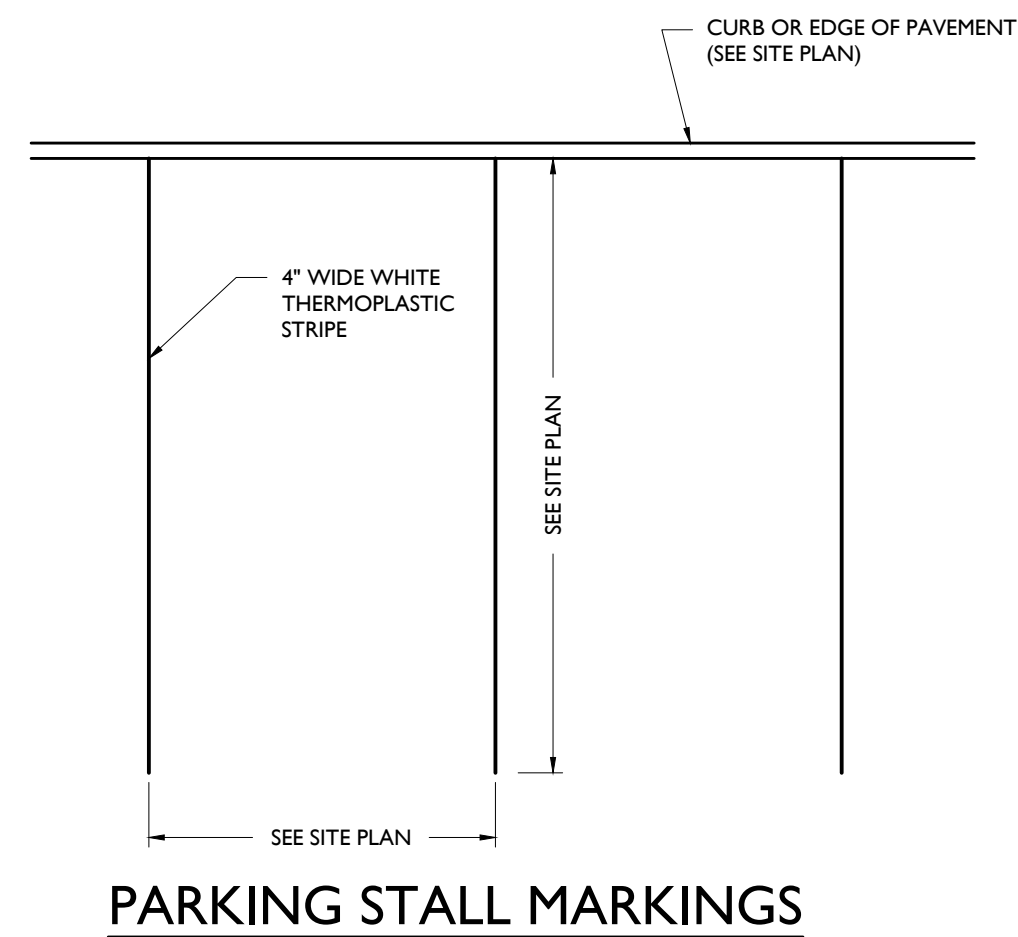
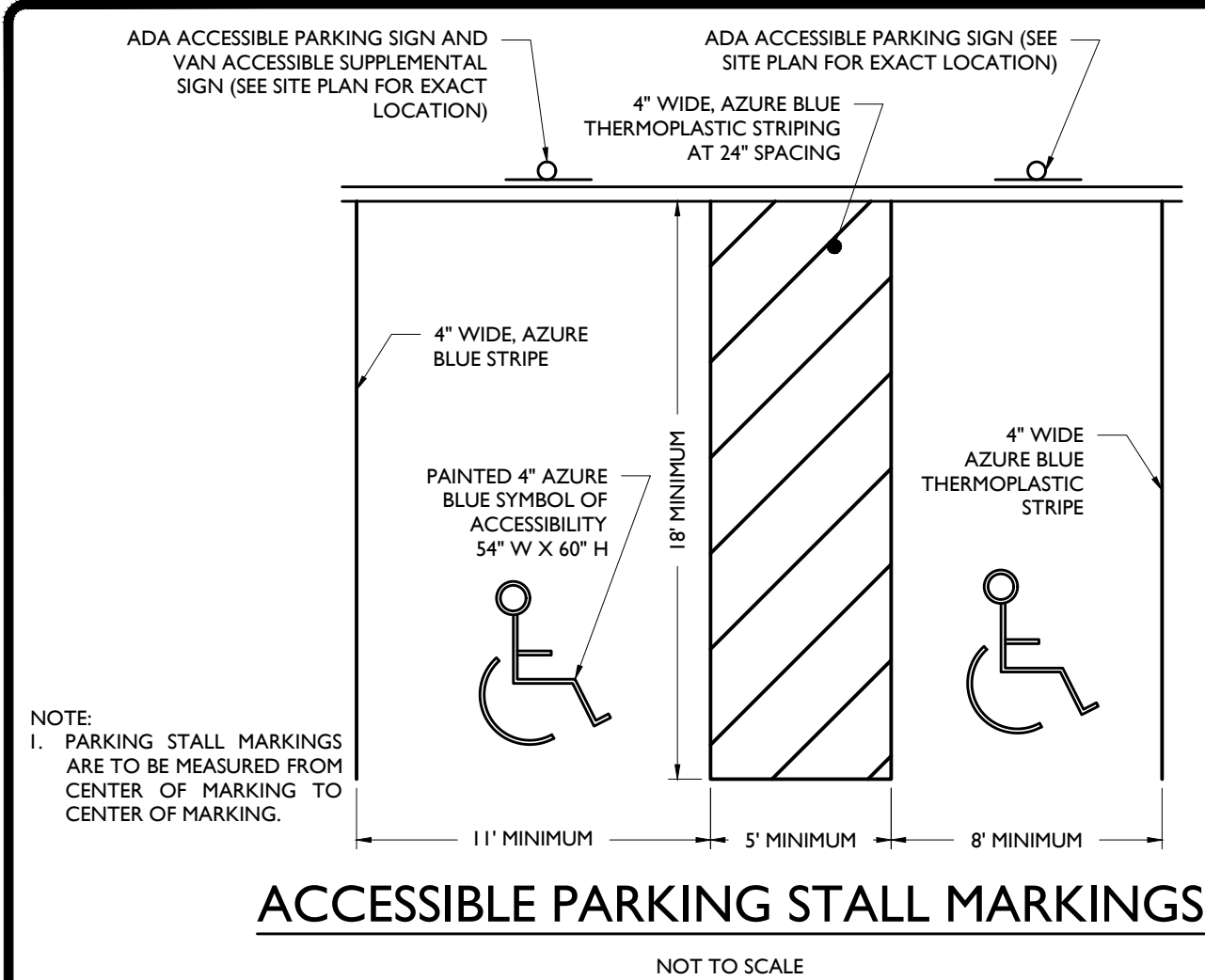
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## LANDSCAPING DETAILS

## DRAWING

## C-13



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## CONSTRUCTION DETAILS

**DRAWING:**

**C-14**



